

Loss Control Personnel: Darlene Wood

Date: 04-19-2021

Member Name: Madison District Public Schools

Building(s) Inspected: Administration Building

Recommendations & Photos Follow

The following recommendations are offered to support improvements to your current safety program and help reduce your potential losses. If you need additional assistance, please e-mail me at dwood@setseg.org.

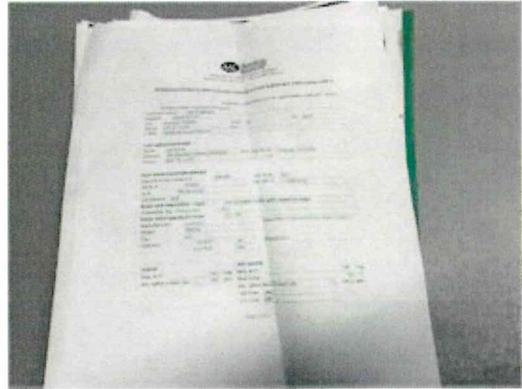
Title:	Electrical – Exposed Wiring
Recommendation:	Electrical boxes should be closed by suitable covers and securely fastened in place. Various electrical control boxes, junction boxes and electrical receptacles were observed without covers or faceplates. This is in the basement of the administrative building.
	Done



Title:	Storage on Flood
Recommendation:	There is storage on the floor in the basement. All storage should be off the floor to prevent damage in the event of water on the floor. Pricing shelving units



Title:	Boiler Inspection
Recommendation:	Jurisdictional inspection certificates must be obtained and posted. The boiler certificate expired in 2019. Contact a certified boiler inspection company to inspect, maintain and complete a CSD1 on your units annually. Inspection has been completed, waiting on cert.



Title:	Back up Sump Pump
Recommendation:	A back up sump pump should be obtained. Preventive maintenance should be provided.

There currently is a backup pump



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Title:	Damper in Basement Doesn't Close
Recommendation:	The damper in the basement for the boiler is open all the time. The damper should be equipped with a means to close to prevent freezing.

This being looked in to - finding a company to repair.



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Title:	Piping Leaking
Recommendation:	The piping on this equipment is leaking. The leaks should be repaired. Detroit boiler to provide quote



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Title:	Rusted Piping
Recommendation:	The rusted piping should be replaced. Detroit boiler to quote



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Title:	Electrical – Exposed Wiring
Recommendation:	Electrical boxes should be closed by suitable covers and securely fastened in place. Various electrical control boxes, junction boxes and electrical receptacles were observed without covers or faceplates. Will be addressed by district staff



Title:	Fire Extinguishers
Recommendation:	All fire extinguishers should be serviced on an annual basis by a qualified fire extinguisher service company. A durable tag should be affixed to the fire extinguishers indicating the date of service and the identity of the company performing the service. This will help assure that the fire extinguishers will function properly in the event of a fire. The fire extinguisher in the basement was last serviced in 2018. Will be addressed this week by Conti



Title:	Data Feed Wire Against Metal
Recommendation:	<p>The data feed wiring is against the metal. This could potentially cause the data feed to be damaged. The metal against the data feed wiring should be removed.</p> <p style="text-align: center;">District staff will address</p>



Title:	Electrical Cords & Hoses
Recommendation:	<p>Use an UL Approved electrical cord cover over the outstretched cord to help minimize slips/trips/falls. Eliminate the overuse of electrical cords, power strips and extension cords, to help minimize electrical hazards and slips/trips/falls. Develop procedures for proper electrical cord storage to help minimize slips/trips/falls.</p> <p style="text-align: center;">Done</p>



Title:	Slip, Trip, and Fall Hazard
Recommendation:	Eliminate slip, trip, and fall exposure by repairing the sidewalks. District staff will skimcoat.



Title:	Electrical – Exposed Wiring
Recommendation:	Electrical boxes should be closed by suitable covers and securely fastened in place. Various electrical control boxes, junction boxes and electrical receptacles were observed without covers or faceplates. Old cable wires will be removed and secured



Title:	Light Pole Damaged
Recommendation:	<p>The light pole has been removed. Additional fixtures on the cement should be removed.</p> <p style="text-align: center;">Will be addressed by district staff.</p>



Title:	Electrical Inspection – Infra-red
Recommendation:	<p>Complete infrared testing of the district electrical systems every three years. This applies to all district buildings.</p> <p style="text-align: center;">Will contact setseg for referral</p>

Title:	Employee Training
Recommendation:	Complete required training for employees to be compliant with MIOSHA, State and/or Local requirements. This applies to all employees. Done via Safeschools

Title:	Extended Break Facility Inspection
Recommendation:	Complete daily facility inspections during extended breaks. Done

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Title:	Facility Use Agreement	
Recommendation:	Collect a facility use agreement from any outside entity using district buildings or grounds. Done	

Title:	Freeze Loss Prevention - Frozen Pipes	
Recommendation:	Implement routine cold weather inspections and maintenance in the following areas for possible leaking or frozen pipes: - New or existing non-heated areas such as foyers, small rooms, storage areas and closets. - Boiler rooms where return air ducts are open to the elements. - Areas where drop ceilings could obstruct heat from reaching sprinkler piping. Done.	

Title:	Refrigeration Unit - GFCI	
Recommendation:	Install surge protection on refrigeration units. This is an outstanding recommendation from the 11-30-2020 report.	
	Will look in to	
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Title:	Roof Inspections	
Recommendation:	Complete routine roof inspections and/or contract with a roofing contractor as part as a preventative maintenance program. This is an outstanding recommendation from the 11-30-2020 report.	
	Scheduled	
	1 2 3 4 5 6 7 8 9 10	

Title:	Roof Maintenance – Inclement weather
Recommendation:	Develop & implement procedures for removing snow & ice from roofs. This is an outstanding recommendation from the 11-30-2020 report. Will complete

Title:	Surge Protection with Lightning Arrestor
Recommendation:	Contract with a licensed electrician to install lightning arrestors and proper grounding to help minimize power surges. Will look in to

Title:	Surge Protection
Recommendation:	<p>A whole building surge protector may need to be installed to reduce the damaging effects of a power surge. Contact a licensed electrician to complete needed repairs or install proper surge protection. This is an outstanding recommendation from the 11-30-2020 report.</p> <p style="text-align: center;">Will look in to - may address with bond funding</p>

Title:	Electrical Inspections - Contractor
Recommendation:	<p>Conduct routine electrical inspections using a licensed electrician. This is an outstanding recommendation from the 11-30-2020 report.</p> <p style="text-align: center;">Will schedule</p>

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Title:	Surge Protection with Lightning Arrestor
Recommendation:	<p>Contract with a licensed electrician to install lightning arrestors and proper grounding to help minimize power surges. This is an outstanding recommendation from the 11-30-2020 report.</p> <p style="text-align: center;">Will schedule</p>

Title:	Electrical – Back-up Generator
Recommendation:	<p>Consider installing back-up generators for critical equipment. This is an outstanding recommendation from the 11-30-2020 report.</p> <p style="text-align: center;">Will price - maybe bond funding</p>

Comments:

Property: Questions to District

Roof

- Age and condition of roof?
- Is there a roof maintenance & inspection program? Yes No
- How often is the roof inspected?
- Are there any leaks in the ceilings of any buildings? Yes No
- Is there a process in place for snow/ice removal from roofs? Yes No

Electrical/Lightning/Power Outages

- Do you have an electrician on staff, or do you use an electrical contractor? Yes No
- Are routine inspections completed? Yes No
- Has the district completed infra-red testing of the electrical? Yes No
When?
- Do refrigeration units have surge protection? Yes No
- Are surge suppression devices installed for inland marine equipment? Yes No
- Are there back-up generators? Yes No
How often are they tested?
- Are lightning arrestors and proper grounds in place? Yes No

Heating and Cooling/Freeze

- Is there a routine preventative maintenance program for univents in classrooms? Yes No
- Are buildings kept at a minimum of 55 degrees at all times? Yes No
- Are procedures in place to provide additional heat sources for areas known to have extreme cold exposure?
 Yes No
- Are there inspections during extended breaks? Yes No
How often?

Fire Protection

- Do you have automatic sprinklers? Yes No
- Is the system inspected and tagged annually? Yes No

Security

- Are doors and windows locked daily? Yes No
- Is there an interior or exterior camera system? Yes No
- Are emergency lock down procedures in place? Yes No
- Does each classroom have an emergency plan and kit? Yes No

Builders Risk-Risk Transfer

- Are certificates of insurance required for general contractor and all sub-contractors? Yes No
- Are they reviewed annually? Yes No
Do contracts and purchase orders include:
- Indemnification or hold harmless in favor of school? Yes No
- Requirement to be named as an additional named insured? Yes No
- Policy restricting use of uninsured contractors and service providers? Yes No
- Are facility use agreements documented for any outside entity using buildings or grounds? Yes No

Loss Control Personnel: Darlene Wood

Date: 04-19-2021

Member Name: Madison District Public Schools

Building(s) Inspected: Halfman School

Recommendations & Photos Follow

The following recommendations are offered to support improvements to your current safety program and help reduce your potential losses. If you need additional assistance, please e-mail me at dwood@setseg.org.

Title:	Slip, Trip, and Fall Hazard
Recommendation:	Eliminate slip, trip, and fall exposure by repairing parking lot and sidewalks. This has not yet been addressed. Hoping to address with bond funding



Title:	Boiler Inspection
Recommendation:	<p>Jurisdictional inspection certificates must be obtained and posted. The boiler certificate does not expire until 10-2021. Contact a certified boiler inspection company to inspect, maintain and complete a CSD1 on your units annually. There was no current CSD1. This is an outstanding recommendation from the 2-9-2016 and 1-24-2017 report.</p> <p style="text-align: center;">Completed 6-23-21</p>



Title:	Pumps Not Guarded
Recommendation:	<p>The two pumps in the boiler room are not adequately guarded. In addition, the one pump running was loud indicating that the bearings might need repair.</p> <p style="text-align: center;">Working with Detroit Boiler to address this.</p>



Title:	Electrical Panels Blocked
Recommendation:	Remove the items and materials being stored in front of the electrical panels per NFPA Life Safety Codes. There should be a minimum of 3-feet of clearance in front of and around the panels. Yellow caution lines could be painted to designate the area around the electrical panels where storage is not permitted.
	Done



Title:	Snow Blower Stored Inside
Recommendation:	The snow blower is being stored inside. The snow blower should be stored outside.
	Done



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Title:	Water/Oil Leakage
Recommendation:	<p>The water/oil leakage in the boiler room should be repaired.</p> <p style="text-align: center;">Done by contractor 6-23-21</p>

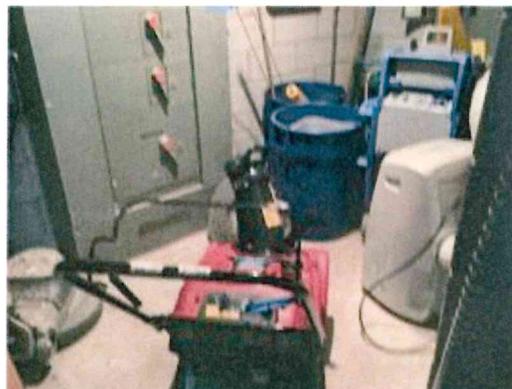
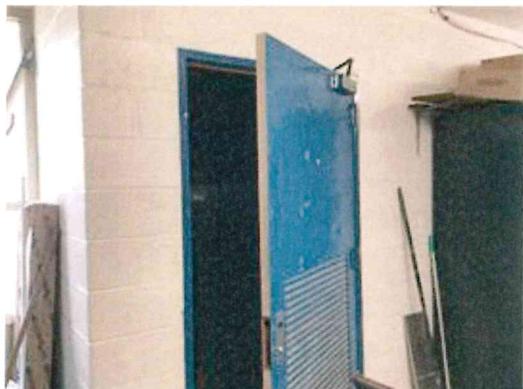


Title:	Flammable Liquid Storage
Recommendation:	<p>Store all flammables such as paints, thinners, adhesives and aerosols inside a UL approved cabinet for storage of the flammables. These cabinets are specially designed to isolate the flammable liquids from a fire, reducing the potential for their contributing to the rapid spread of a fire.</p> <p style="text-align: center;">Pricing flammable storage cabinets</p>



Title:	Electrical Door
Recommendation:	The electrical door does not close. This door should be kept closed at all times. Storage should be removed from room.

Not yet addressed, putting together a parts list



Title:	Remove Combustibles from Stove
Recommendation:	There are combustibles on the stove in the kitchen. These items should be removed.

Done



Title:	Slip, Trip, and Fall Hazard
Recommendation:	Eliminate slip, trip, and fall exposure by repairing the floor tiles. This is an outstanding recommendation from the 1-24-2017 report. Done



Title:	Univent Heater - Remove Items
Recommendation:	Remove items that are placed on top of, or in front of, the univent heaters. Items should be removed to ensure the heaters function correctly. Excessive items placed on top of, or in front of, the univent may cause it to fail and lead to potential damage. Implement preventative maintenance for univents. In addition, the window insulation is coming out and should be repaired. Done



Title:	Exit Signs
Recommendation:	<p>The exit signs are blocked by the ceiling decorations. The ceiling decorations should be removed to facilitate egress in the event of an emergency. Currently the exit sign can not be seen with the ceiling decorations.</p> <p style="text-align: center;">Done</p>



Comments:

Property: Questions to District

Roof

- Age and condition of roof?
- Is there a roof maintenance & inspection program? Yes No
- How often is the roof inspected?
- Are there any leaks in the ceilings of any buildings? Yes No
- Is there a process in place for snow/ice removal from roofs? Yes No

Electrical/Lightning/Power Outages

- Do you have an electrician on staff, or do you use an electrical contractor? Yes No
- Are routine inspections completed? Yes No
- Has the district completed infra-red testing of the electrical? Yes No
When?
- Do refrigeration units have surge protection? Yes No
- Are surge suppression devices installed for inland marine equipment? Yes No
- Are there back-up generators? Yes No
How often are they tested?
- Are lightning arrestors and proper grounds in place? Yes No

Heating and Cooling/Freeze

- Is there a routine preventative maintenance program for univents in classrooms? Yes No
- Are buildings kept at a minimum of 55 degrees at all times? Yes No
- Are procedures in place to provide additional heat sources for areas known to have extreme cold exposure?
 Yes No
- Are there inspections during extended breaks? Yes No
How often?

Fire Protection

- Do you have automatic sprinklers? Yes No
- Is the system inspected and tagged annually? Yes No

Security

- Are doors and windows locked daily? Yes No
- Is there an interior or exterior camera system? Yes No
- Are emergency lock down procedures in place? Yes No
- Does each classroom have an emergency plan and kit? Yes No

Builders Risk-Risk Transfer

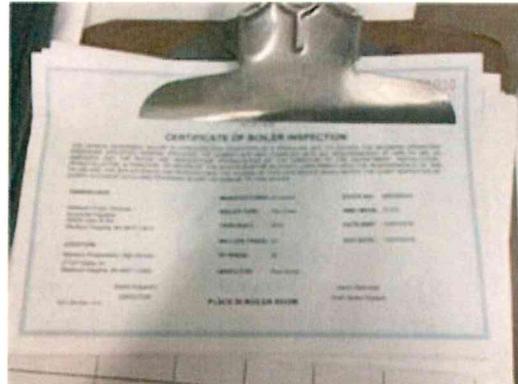
- Are certificates of insurance required for general contractor and all sub-contractors? Yes No
- Are they reviewed annually? Yes No
Do contracts and purchase orders include:
- Indemnification or hold harmless in favor of school? Yes No
- Requirement to be named as an additional named insured? Yes No
- Policy restricting use of uninsured contractors and service providers? Yes No
- Are facility use agreements documented for any outside entity using buildings or grounds? Yes No

Loss Control Personnel: Darlene Wood **Date:** 04-19-2021
Member Name: Madison District Public Schools
Building(s) Inspected: Madison Elementary School

Recommendations & Photos Follow

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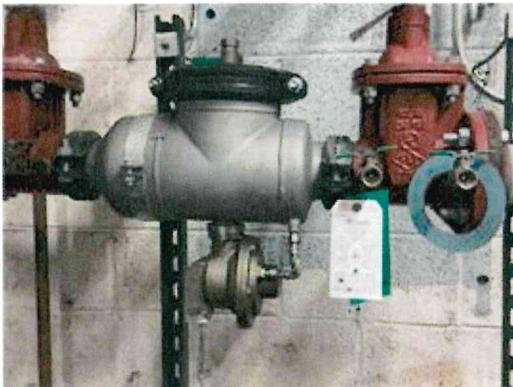
Title:	Boiler Inspection
Recommendation:	Jurisdictional inspection certificates must be obtained and posted. The certificate expired 2019. This is an outstanding recommendation from the 2-10-2016 report. Contact a certified boiler inspection company to inspect, maintain and complete a CSD1 on your units annually. There was no CSD1. The boiler controls were left open. The boiler controls should be kept closed. Done - Completed by a contractor



Title:	Storage on Transformer
Recommendation:	Storage was noted on the transformer in the boiler room. The storage should be removed. Done



Title:	Automatic Sprinkler Piping Leakage
Recommendation:	There is a leak in the automatic sprinkler piping that should be repaired. There is an significant amount of water on the floor from the sprinkler piping. This is being inspected this week by Conti



Title:	Sump Pump - No Back Up
Recommendation:	There is no emergency back up on the sump pump in the boiler room. We have purchased a pump - needs to be installed.



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Title:	Motor on Pump Running Loud
Recommendation:	The motor on the pump is running loud indicating that the bearing should be repaired. Bearings were greased on 6/18/21



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Title:	Computer Equipment in Boiler Room
Recommendation:	<p>There was computer equipment in the boiler room on a cardboard box. The computer equipment should be secure and on a table.</p> <p style="text-align: center;">Done</p>



Title:	Door Not Sealed
Recommendation:	<p>The door in the receiving room is not sealed and is letting a significant amount of air (possibly cold) into the room. The main for the automatic sprinkler system is located in this room.</p> <p style="text-align: center;">Done</p>



Title:	Blocked Automatic Sprinkler System
Recommendation:	There is storage in front of the automatic sprinkler system. The storage should be removed. The automatic sprinkler system should be kept clear at all times. As a reminder, lines should be painted on the floor to mark the area where storage should not be.

Done



Title:	Electrical Panels Blocked
Recommendation:	Remove the items and materials being stored in front of the electrical panels per NFPA Life Safety Codes. There should be a minimum of 3-feet of clearance in front of and around the panels. Yellow caution lines could be painted to designate the area around the electrical panels where storage is not permitted.

Done



Title:	Snow Blower Inside
Recommendation:	The snow blower is located in the receiving room. The snow blower should be stored outside. Done



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Title:	Electrical Panels Blocked
Recommendation:	Remove the items and materials being stored in front of the electrical panels per NFPA Life Safety Codes. There should be a minimum of 3-feet of clearance in front of and around the panels. Yellow caution lines could be painted to designate the area around the electrical panels where storage is not permitted. In addition, the storage on the transformer should be removed. (Storage was removed during the visit.) Done



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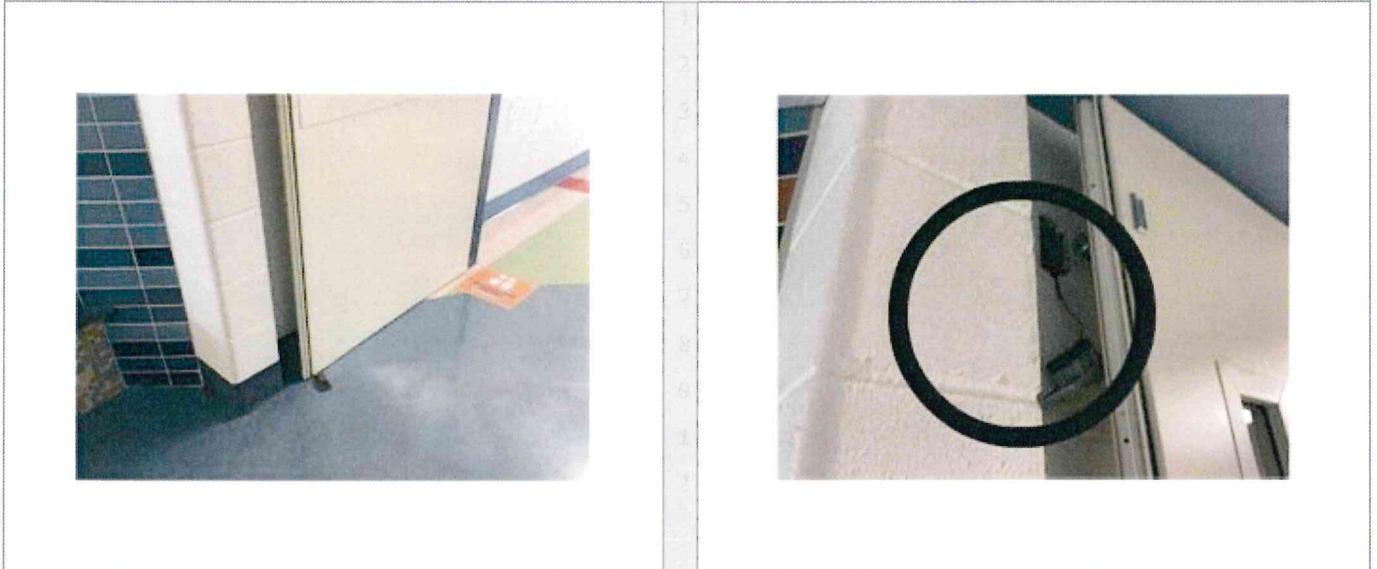
Title:	Kitchen Extinguishing System
Recommendation:	<p>The automatic extinguishing system protecting the cooking surfaces and exhaust duct should be serviced and tagged on a semi-annual basis by a qualified outside contractor to ensure reliable operation. The last test was completed July 2020.</p> <p style="text-align: center;">This will be completed this week by Conti</p>



Title:	Automatic Sprinkler Head Clearance
Recommendation:	<p>Storage should be a minimum of 18 inches from any automatic sprinkler head. Limit storage on top shelves to reduce slip and fall exposures. Blocking these automatic sprinkler heads could result in decreased flow of water in case of a fire. The storage room in the art room is packed with storage and could overburden the automatic sprinkler head in the storage room.</p> <p style="text-align: center;">This was brought to the teachers attention and will be addressed.</p>



Title:	Fire Doors Blocked Open
Recommendation:	<p>The fire doors are blocked open because the automatic fire system closure is damaged. The fire system closure should be repaired and the doors should not be blocked open.</p> <p style="text-align: center;">There is an appointment scheduled with WonDoor to have this fixed.</p>



Title:	Exit Signs
Recommendation:	<p>Replace burned-out exit signs to ensure adequate egress.</p> <p style="text-align: center;">Done</p>



Title:	String-to-String Lights
Recommendation:	<p>Remove string-to-string lights that are coming into contact with lighting fixtures, combustible materials, and furniture. This can expose the district to fires, burns, or various injuries.</p> <p style="text-align: center;">This was brought to the teacher's attention</p>



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Title:	Breach in Security
Recommendation:	<p>Keep all exit doors securely closed and locked to help minimize a breach in security.</p> <p style="text-align: center;">This was brought to teacher's attention</p>



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Title:	Cement Sill Damaged
Recommendation:	The cement window sill is damaged and should be repaired. Done



Title:	Door Sill Damaged
Recommendation:	The door sill is damaged and should be repaired. Done



Title:	Car on Sidewalk
Recommendation:	<p>Cars should not be parked on the sidewalk as sidewalks can't hold the weight of the car. The car could damage the sidewalk. Cars should be parked in the designated parking spaces.</p> <p style="text-align: center;">Addressed with staff.</p>



Title:	Lack of Cameras on Rear of Building
Recommendation:	<p>There are no cameras on the rear of building. Consideration should be given to adding cameras to the rear of the building.</p> <p style="text-align: center;">A camera is being added in this location</p>



Comments:



Property: Questions to District

Roof

- Age and condition of roof?
- Is there a roof maintenance & inspection program? Yes No
- How often is the roof inspected?
- Are there any leaks in the ceilings of any buildings? Yes No
- Is there a process in place for snow/ice removal from roofs? Yes No

Electrical/Lightning/Power Outages

- Do you have an electrician on staff, or do you use an electrical contractor? Yes No
- Are routine inspections completed? Yes No
- Has the district completed infra-red testing of the electrical? Yes No
When?
- Do refrigeration units have surge protection? Yes No
- Are surge suppression devices installed for inland marine equipment? Yes No
- Are there back-up generators? Yes No
How often are they tested?
- Are lightning arrestors and proper grounds in place? Yes No

Heating and Cooling/Freeze

- Is there a routine preventative maintenance program for univents in classrooms? Yes No
- Are buildings kept at a minimum of 55 degrees at all times? Yes No
- Are procedures in place to provide additional heat sources for areas known to have extreme cold exposure?
 Yes No
- Are there inspections during extended breaks? Yes No
How often?

Fire Protection

- Do you have automatic sprinklers? Yes No
- Is the system inspected and tagged annually? Yes No

Security

- Are doors and windows locked daily? Yes No
- Is there an interior or exterior camera system? Yes No
- Are emergency lock down procedures in place? Yes No
- Does each classroom have an emergency plan and kit? Yes No

Builders Risk-Risk Transfer

- Are certificates of insurance required for general contractor and all sub-contractors? Yes No
- Are they reviewed annually? Yes No
Do contracts and purchase orders include:
- Indemnification or hold harmless in favor of school? Yes No
- Requirement to be named as an additional named insured? Yes No
- Policy restricting use of uninsured contractors and service providers? Yes No
- Are facility use agreements documented for any outside entity using buildings or grounds? Yes No

Loss Control Personnel: Darlene Wood

Date: 04-19-2021

Member Name: Madison District Public Schools

Building(s) Inspected: Wilkinson Middle School

Recommendations & Photos Follow

The following recommendations are offered to support improvements to your current safety program and help reduce your potential losses. If you need additional assistance, please e-mail me at dwood@setseg.org.

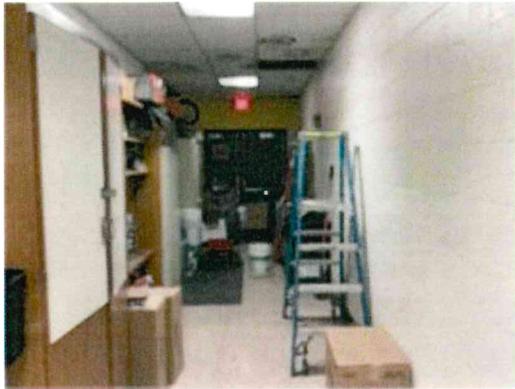
Title:	Slip, Trip, and Fall Hazard
Recommendation:	Eliminate slip, trip, and fall exposure by repairing sidewalks and parking lots. This is an outstanding recommendation from the 9-27-2018 report. Hoping to use bond funding to fix



Title:	Awning Repair
Recommendation:	The brick around the building is separating and should be repaired. In addition, the metal is deteriorating and should be repaired. Exploring options to repair



Title:	Blocked Egresses
Recommendation:	Keep all secondary egresses unobstructed and accessible in the event of an emergency per the NFPA Life Safety Code. This is an outstanding recommendation from the 9-27-2018 report. Done



Title:	Electrical Panels Blocked
Recommendation:	Remove the items and materials being stored in front of the electrical panels per NFPA Life Safety Codes. There should be a minimum of 3-feet of clearance in front of and around the panels. Yellow caution lines could be painted to designate the area around the electrical panels where storage is not permitted. This is an outstanding recommendation from the 9-27-2018 report. Done



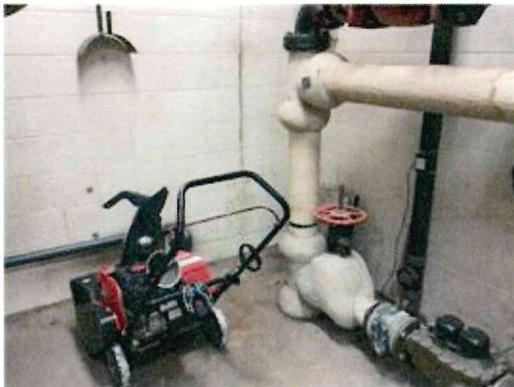
Title:	Boiler Room Door Blocked Open
Recommendation:	The boiler room door is blocked open. The door should be kept closed at all times. Done



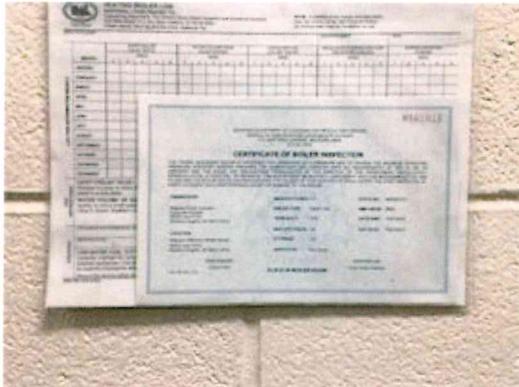
Title:	Asbestos Covering Damaged
Recommendation:	The asbestos covering in the boiler room are damaged. They should be repaired. Appointment scheduled with NOVA Environmental



Title:	Snow Blower Storage Inside
Recommendation:	The snow blower with gas is being stored inside. This equipment should be stored outside. Done



Title:	Boiler Inspection
Recommendation:	Jurisdictional inspection certificates must be obtained and posted. The boiler certificate expired 2019. Contact a certified boiler inspection company to inspect, maintain and complete a CSD1 on your units annually. There were no CSD1 tests. Done waiting on cert



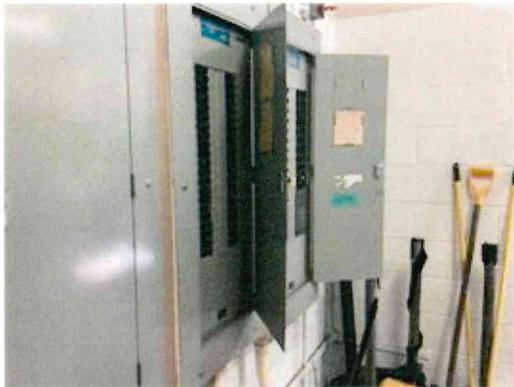
Title:	Doors With Pad Locks
Recommendation:	Doors in the boiler room and locker rooms are pad locked. Pad locks impede egress in the event of an emergency and should be removed. Done



Title:	Electrical – Exposed Wiring
Recommendation:	Electrical boxes should be closed by suitable covers and securely fastened in place. Various electrical control boxes, junction boxes and electrical receptacles were observed without covers or faceplates. This is an outstanding recommendation from the 9-27-2018 report.
	Done



Title:	Electrical – Exposed Wiring
Recommendation:	Electrical boxes should be closed by suitable covers and securely fastened in place. Various electrical control boxes, junction boxes and electrical receptacles were observed without covers or faceplates. This is an outstanding recommendation from the 9-27-2018 report.
	Done



Title:	Light Fixtures Missing Bulbs
Recommendation:	The light fixtures in the receiving area are missing bulbs. Proper lighting is needed to ensure egress and working in the area with slip and falling.
	Done



Title:	Kitchen Extinguishing System
Recommendation:	The automatic extinguishing system protecting the cooking surfaces and exhaust duct should be serviced and tagged on a semi-annual basis by a qualified outside contractor to ensure reliable operation. The last inspection was July 2020. This is an outstanding recommendation from the 9-27-2018 report.
	This will be done this week by Conti



Title:	Kitchen Extinguishing System - Hydrostatic Testing
Recommendation:	<p>The kitchen extinguishing system should be hydro tested according to NFPA once every 7 years. This system has never had a hydro test.</p> <p style="text-align: center;">This will be done this week by Conti</p>



Title:	Slip, Trip, and Fall Hazard
Recommendation:	<p>Eliminate slip, trip, and fall exposure by eliminating extension cords on the floor. This was noted in the kitchen serving area.</p> <p style="text-align: center;">Done</p>



Title:	Fascia Boards on Shed Damaged
Recommendation:	The fascia boards on the shed are damaged and could cause water to enter the building. The fascia boards should be repaired.

Will be completed by school staff



Title:	Slip, Trip, and Fall Hazard
Recommendation:	Eliminate slip, trip, and fall exposure by repairing the parking lot and side walks.

School staff can do some skim coating - would hope to use bond funding



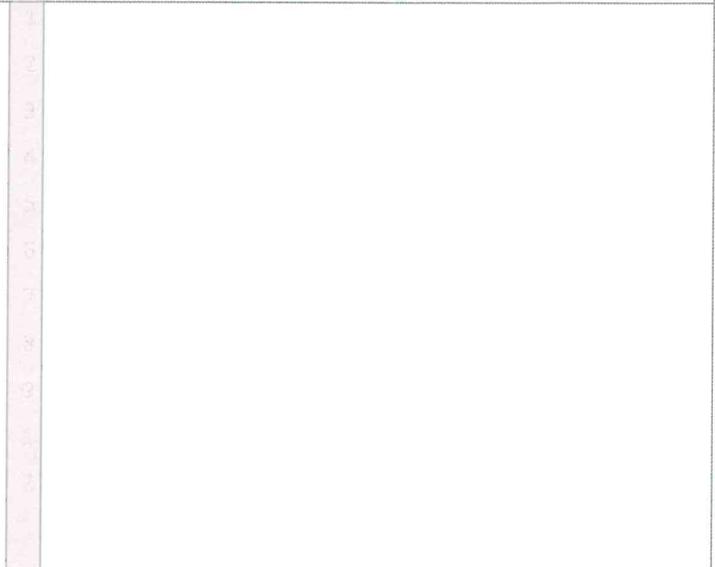
Title:	Repair Roof
Recommendation:	The roof has reached the end of it's useful life. The roof is leaking in several locations throughout the middle school. The area over the girls locker room, receiving, the boiler room, and hallway near the stage are of greatest concern. The roof should be replaced. Address with bond funding. Ceiling tiles have been replaced JD Chandler addressed roof issue - roof is beyond repair.



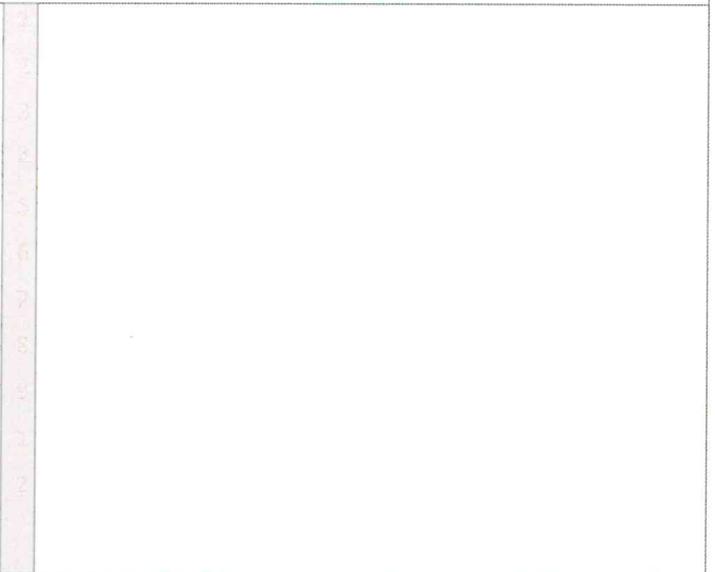
Title:	Roof Leak Damage
Recommendation:	Roof leaking has caused damaged to the floors in the locker rooms and ceiling tiles missing. Exposed ceiling tiles should be replaced. Can be fixed once roof is repaired



Title:	Rear Doors no Security
Recommendation:	<p>The rear doors at the middle school do not have burglary contacts on them. The rear side of the building does not have camera coverage. To increase security, burglary contacts and cameras should be provided.</p> <p style="text-align: center;">Need to speak with Tyco</p>



Title:	Smoking
Recommendation:	<p>There was evidence of smoking on the premises. No smoking should be enforced on all school properties.</p> <p style="text-align: center;">Addressed with Staff</p>



Property: Questions to District

Roof

- Age and condition of roof?
- Is there a roof maintenance & inspection program? Yes No
- How often is the roof inspected?
- Are there any leaks in the ceilings of any buildings? Yes No
- Is there a process in place for snow/ice removal from roofs? Yes No

Electrical/Lightning/Power Outages

- Do you have an electrician on staff, or do you use an electrical contractor? Yes No
- Are routine inspections completed? Yes No
- Has the district completed infra-red testing of the electrical? Yes No
When?
- Do refrigeration units have surge protection? Yes No
- Are surge suppression devices installed for inland marine equipment? Yes No
- Are there back-up generators? Yes No
How often are they tested?
- Are lightning arrestors and proper grounds in place? Yes No

Heating and Cooling/Freeze

- Is there a routine preventative maintenance program for univents in classrooms? Yes No
- Are buildings kept at a minimum of 55 degrees at all times? Yes No
- Are procedures in place to provide additional heat sources for areas known to have extreme cold exposure?
 Yes No
- Are there inspections during extended breaks? Yes No
How often?

Fire Protection

- Do you have automatic sprinklers? Yes No
- Is the system inspected and tagged annually? Yes No

Security

- Are doors and windows locked daily? Yes No
- Is there an interior or exterior camera system? Yes No
- Are emergency lock down procedures in place? Yes No
- Does each classroom have an emergency plan and kit? Yes No

Builders Risk-Risk Transfer

- Are certificates of insurance required for general contractor and all sub-contractors? Yes No
- Are they reviewed annually? Yes No
Do contracts and purchase orders include:
- Indemnification or hold harmless in favor of school? Yes No
- Requirement to be named as an additional named insured? Yes No
- Policy restricting use of uninsured contractors and service providers? Yes No
- Are facility use agreements documented for any outside entity using buildings or grounds? Yes No

Loss Control Personnel: Darlene Wood

Date: 04-19-2021

Member Name: Madison District Public Schools

Building(s) Inspected: Wilkinson Middle School

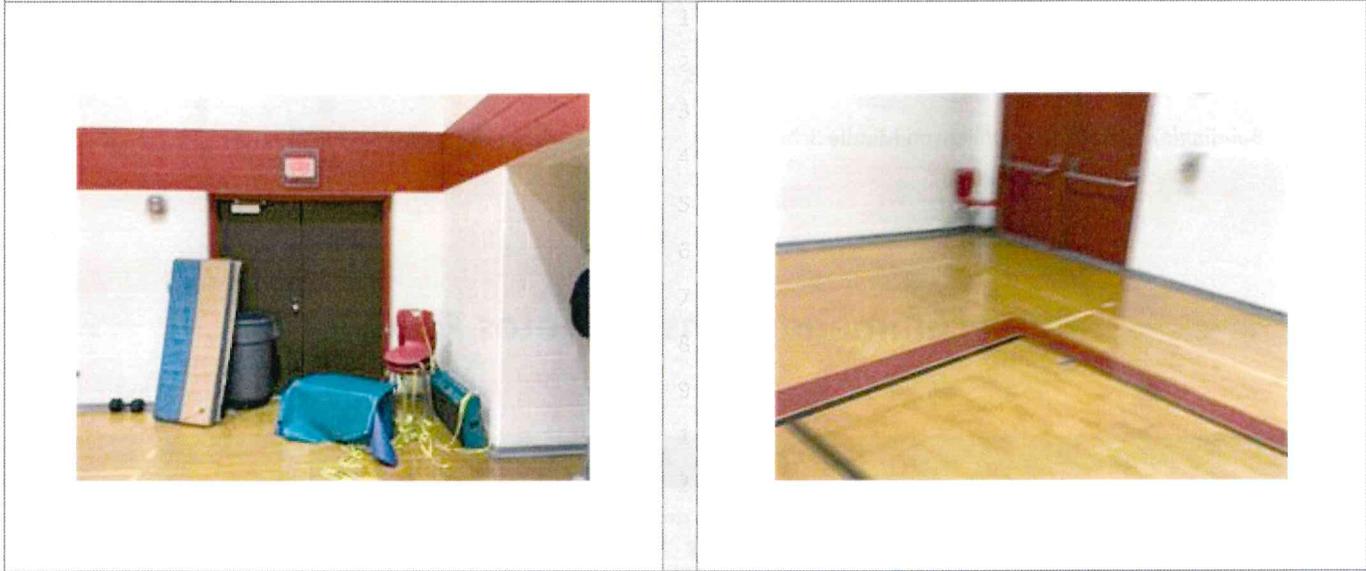
Recommendations & Photos Follow

The following recommendations are offered to support improvements to your current safety program and help reduce your potential losses. If you need additional assistance, please e-mail me at dwood@setseg.org.

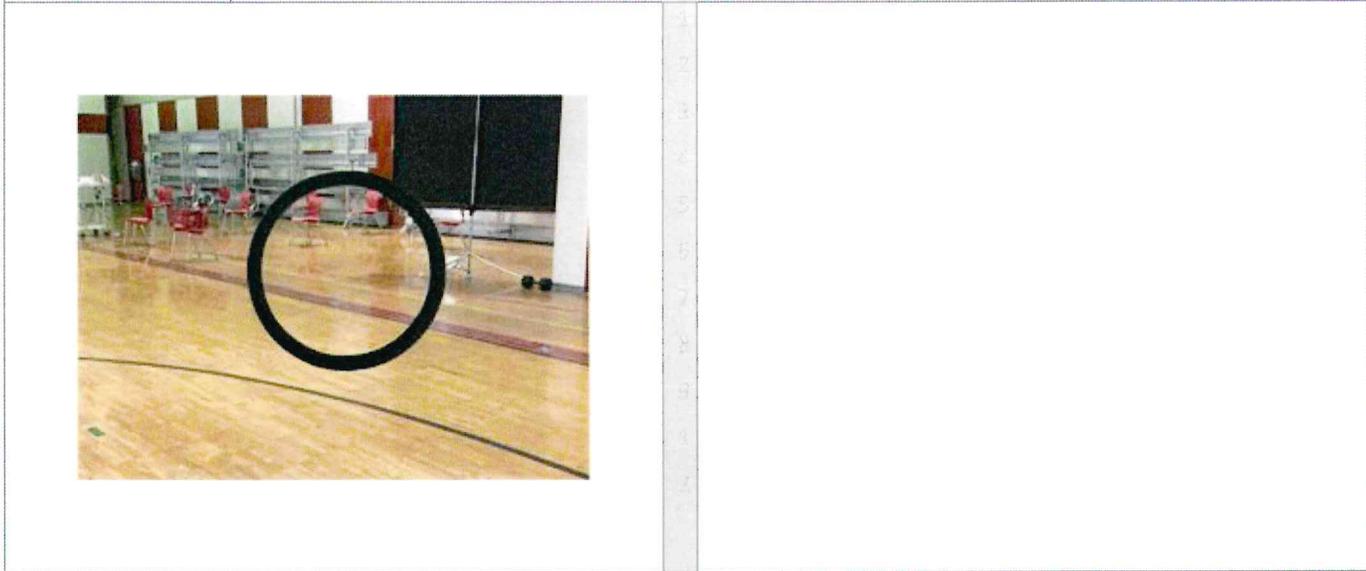
Title:	Breach in Security
Recommendation:	Keep all exit doors securely closed and locked to help minimize a breach in security.
	Done



Title:	Blocked Egresses
Recommendation:	Keep all secondary egresses unobstructed and accessible in the event of an emergency per the NFPA Life Safety Code. This was noted in the gym.
	Done



Title:	Electrical Cords & Hoses
Recommendation:	Use an UL Approved electrical cord cover over the outstretched cord to help minimize slips/trips/falls. Eliminate the overuse of electrical cords, power strips and extension cords, to help minimize electrical hazards and slips/trips/falls. Develop procedures for proper electrical cord storage to help minimize slips/trips/falls.
	Done



Title:	Electrical – Exposed Wiring
Recommendation:	Electrical boxes should be closed by suitable covers and securely fastened in place. Various electrical control boxes, junction boxes and electrical receptacles were observed without covers or faceplates.

In progress



Title:	Emergency Lighting and Exit Signs
Recommendation:	A preventive maintenance program should be instituted to include testing of emergency equipment- lights and exit signs. Fire strobe lights should also be included.

Done



Title:	Secure Computers
Recommendation:	The computers in carts should be secure. Done



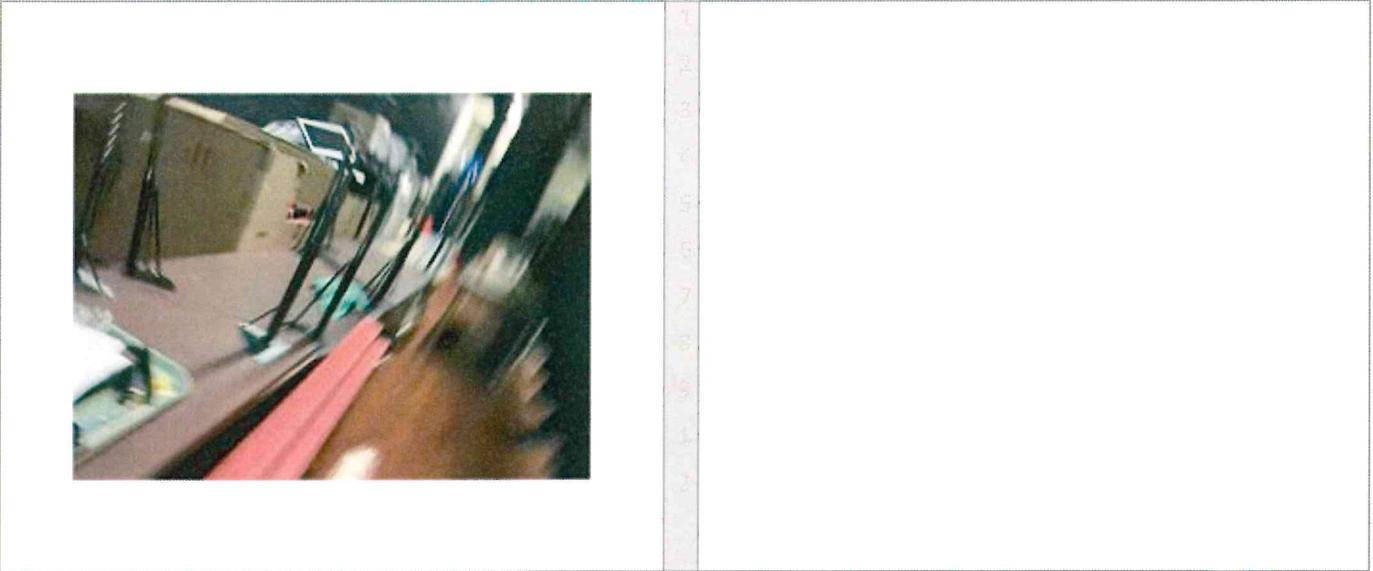
Title:	Cover Missing on Dishwasher
Recommendation:	The cover is missing on the dishwasher. This should be replaced. Done



Title:	Ceiling Tiles Removed
Recommendation:	The ceiling tiles should be replaced in the dishwashing area. Done



Title:	Stage - Blocking Egress with Storage
Recommendation:	The storage on the stage is blocking the egress. The storage should be removed. Done



Title:	Lights on Stage too Close to Curtains
Recommendation:	The lights on the stage are too close to the curtains. The lights should be moved to prevent a potential fire.
	Done



Title:	Asbestos Tiles
Recommendation:	The ceiling tiles in the cafeteria are asbestos. These should be listed on the asbestos plan.
	Listed on plan



Title:	Storage in the Maintenance Area on the Asbestos Covered Piping
Recommendation:	<p>The storage on the asbestos piping in the maintenance area should be removed. The pipe covering should be listed in the asbestos plan.</p> <p style="text-align: center;">Done - pipe listed.</p>



Title:	Electrical Cords & Hoses
Recommendation:	<p>Use an UL Approved electrical cord cover over the outstretched cord to help minimize slips/trips/falls. Eliminate the overuse of electrical cords, power strips and extension cords, to help minimize electrical hazards and slips/trips/falls. Develop procedures for proper electrical cord storage to help minimize slips/trips/falls.</p> <p style="text-align: center;">Done</p>



Title:	Roof Leak - Ceiling Tiles
Recommendation:	The roof leaks and the ceiling tile presents a possible mold exposure. The ceiling tiles should be replaced. Done



Title:	Vent Discoloration - Filter Change
Recommendation:	The discoloration around the vent indicated that the filters might not have been changed properly. The filters on the HVAC units should be changed and placed on the preventive maintenance schedule. Done - filter changed



Title:	Electrical Panels Blocked
Recommendation:	Remove the items and materials being stored in front of the electrical panels per NFPA Life Safety Codes. There should be a minimum of 3-feet of clearance in front of and around the panels. Yellow caution lines could be painted to designate the area around the electrical panels where storage is not permitted.

Done



Title:	Turn Off Computers
Recommendation:	The computers in the media center are not being used. The computers should be turned off when not in use to prevent a potential for an electrical surge. In addition, the old robotics area has a number of large machines that the electrical should be turned off.

Done - note to staff



Title:	Electrical Inspection – Infra-red
Recommendation:	<p>Complete infrared testing of the district electrical systems every three years. The transformer in the electrical room was hot to the touch.</p> <p style="text-align: center;">Looking in to company that can perform this</p>



Title:	Robotic Program - Outside Vendor
Recommendation:	<p>The old robotics program that was run by the outside vendor still has all of the large expensive computer controlled equipment. Proper itemization of the equipment should be provided to SET SEG to ensure proper insurance coverage. Does equipment belong to the district or the third party vendor?</p> <p style="text-align: center;">Need to inventory</p>



Title:	Electrical – Exposed Wiring
Recommendation:	<p>Electrical boxes should be closed by suitable covers and securely fastened in place. Various electrical control boxes, junction boxes and electrical receptacles were observed without covers or faceplates.</p> <p style="text-align: center;">In progress</p>



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Title:	Pipe Extensions
Recommendation:	<p>There are several water pipe extensions around the middle school. While these extensions help the water to drain away from the building, the piping itself presents a trip and fall hazard, especially in the winter when the area is covered in snow. The pipe extensions should be buried.</p> <p style="text-align: center;">Will get quote from landscape contractors</p>



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Title:	Outside Transformer
Recommendation:	<p>The outside transformer belongs to DTE. The poles protecting the transformer are damaged and should be repaired.</p> <p>Will contact DTE</p>



Title:	Repair Fence
Recommendation:	<p>The fence should be repaired.</p> <p>Scheduled to be fixed this week.</p>



Title:	Electrical Damaged
Recommendation:	The electrical plug outside is damaged and should be repaired. Will be fixed by school staff



Title:	Light Pole is Tethered to a Tree
Recommendation:	The light pole is tethered to a tree on the east side of the building. The structural integrity of the light pole should be investigated. Pole was investigated, it is not tethered to a tree, it is a line coming from the DTE power poles.



Property: Questions to District

Roof

- Age and condition of roof?
- Is there a roof maintenance & inspection program? Yes No
- How often is the roof inspected?
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- Do you have automatic sprinklers? Yes No
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Security

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- Indemnification or hold harmless in favor of school? Yes No
- Requirement to be named as an additional named insured? Yes No
- Policy restricting use of uninsured contractors and service providers? Yes No
- Are facility use agreements documented for any outside entity using buildings or grounds? Yes No

Loss Control Personnel: Darlene Wood

Date: 02-06-2020

Member Name: Madison District Public Schools

Building(s) Inspected: Madison High School

Recommendations & Photos Follow

Loss Control Recommendations

The following recommendations are offered to support improvements to your current safety program and help reduce your potential losses. If you need additional assistance, please e-mail me at dwood@setseg.org.

Title:	Pool Area - Motor and Piping
Recommendation:	The motor in the pool area is very noisy and needs to be repaired. The drain pipe from the pool in the tunnel area is corroded and should be replaced prior to it leaking.
	Motor has been replaced Will have pipe inspected



Title:	Breach in Security
Recommendation:	The locker room door is being propped open when there is no supervision. The locker room leads to the pool which if left unsupervised unauthorized individuals could gain access to. Keep all doors securely closed and locked to help minimize a breach in security and potential loss.
	Done



Title:	Roof Leaks
Recommendation:	There are several areas that the roof leaks. These should be repaired.
	Repairs on going - tiles have been replaced.



Title:	Kitchen Extinguishing System
Recommendation:	<p>The automatic extinguishing system protecting the cooking surfaces and exhaust duct should be serviced and tagged on a semi-annual basis by a qualified outside contractor to ensure reliable operation. Last inspection was in June 2019.</p> <p style="text-align: center;">Inspection will be completed this week</p>



Title:	Blocked Egresses
Recommendation:	<p>Keep all secondary egresses unobstructed and accessible in the event of an emergency per the NFPA Life Safety Code. The secondary classroom door in the art room is being blocked by a shelf. The door should not be blocked.</p> <p style="text-align: center;">Done</p>



Title:	Machine Guarding/Table Saw
Recommendation:	<p>Install a point of operation guard for all table saws. This will reduce student/employee exposure to striking the blade with their hands while the machine is operating. Equipment is currently not being used, however, the table saw should be adequately guarded.</p> <p style="text-align: center;">Done - saw not in use and blade has been removed.</p>



Title:	Storage of White Boards
Recommendation:	<p>The white boards are bring stored in the old wood shop and are subject to theft. The white boards should be installed as soon as possible to prevent potential theft.</p> <p style="text-align: center;">Boards have been installed</p>



Title:	Flammable Liquid Storage
Recommendation:	Store all flammables such as paints, thinners, adhesives and aerosols inside a UL approved cabinet for storage of the flammables. These cabinets are specially designed to isolate the flammable liquids from a fire, reducing the potential for their contributing to the rapid spread of a fire. There were a couple of propane torches. These should be removed or placed in a flammable cabinet. Flammables have been removed, looking in to cabinets for storage.



Comments:

